

# EAST KESWICK



## VILLAGE --- DESIGN STATEMENT



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## DESIGN STATEMENT

### *PREFACE*

Leeds City Council welcomes this initiative and supports the aims of Village Design Statements (VDS), as an expression of the aspirations of local people in guiding new development and the valued characteristics of their local environment.

The East Keswick VDS should be regarded as Supplementary Planning Guidance to the adopted Leeds Unitary Development Plan (UDP). The policies and criteria are summarized at the end of each section and should be read in conjunction with the relevant UDP policies, the reference numbers for which have been listed in the highlighted text boxes.

For a full list of Supplementary Planning Guidance or to look at a copy of the UDP, visit the Planning Enquiry Centre on the 6th floor of Merrion House, 110 Merrion Centre, Leeds LS2 8SH (opening hours: Monday – Thursday, 9 am – 5 pm, Friday, 9 am – 4:30 pm), telephone (0113) 247 8000 or visit the Planning and Environment Department's internet website [www.leeds.gov.uk/planning](http://www.leeds.gov.uk/planning).

*June 2002*

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*Appendix A* – Listed buildings within the parish

*Appendix B* – List of important buildings and other features in the village

*The village from Rigton Grange*



# 1. INTRODUCTION

- 1.1 East Keswick is a small settlement in the hinterland of Leeds and the wider West Yorkshire conurbation. It incorporates some very valuable qualities which need, in the public interest, to be protected and improved by the planning system.
- 1.2 This Village Design Statement (VDS) relates to the village and its surrounding countryside up to the parish boundaries. It represents the views of the community of East Keswick and is intended to guide decisions taken in relation to development in and around the village, as well as identifying opportunities for future positive action to preserve and enhance the village and its rural setting. It has been adopted by Leeds City Council (“the Council”) as Supplementary Planning Guidance to be taken into account whenever it is relevant to the exercise of its powers as the local planning authority. It is also intended to guide local initiatives and to assist in guiding the quality of development even where planning permission is not required (as in cases where permitted development rights exist) in order to ensure that future generations may enjoy the village and its surroundings.



*Stocks Hill from the village centre*

- 1.3 The village community has been given an opportunity to be involved in the production of the Statement in a variety of ways, including the following:
- a **public exhibition** of the initial findings of the Village Design Group held in the Village Hall in November 1998
  - a **Questionnaire Survey** (“the VDS Survey”) issued to all persons who attended the public exhibition
  - **General meetings** in the Village Hall both to initiate the process of preparing the Statement (and appoint a Village Design Group to steer the Statement through the preparation process) and a final meeting to consider a detailed draft in order to ensure that local views were taken fully into account before the final document was presented to



*Visitors at the VDS exhibition*

- the Council for consideration as Supplementary Planning Guidance;
  - updates in the **Village Newsletter** as to progress in the preparation of the Statement.
  - **public consultation** on the draft VDS
  - Approval of the document by the **Parish Council** before it was presented to the City Council
- 1.4 The Statement draws from existing policies and guidance contained in National and Local Guidance, particularly the Leeds UDP which was adopted by Leeds City Council on 1st August 2001. Council officers consulted the chair of the East Plans Development Control Panel, CIT and Ward Councillors, representative professional bodies and government agencies on the draft text. After minor amendment this was then approved by the Director of the Planning and Environment Department as Supplementary Planning Guidance under delegated powers in the Autumn of 2002
- 1.5 The village and the parish of East Keswick contain certain key features which enjoy particular protection under the existing statutory and planning policy framework, including the following:
- a large part of the village is designated as a **Conservation Area**<sup>1</sup> which attracts special statutory



*Looking down Main Street from the village centre*

duties in relation to planning decisions and restrictions on development as well as protection under the UDP;<sup>3</sup>

- there are nine **listed buildings** within the Parish of East Keswick which are the subject of special statutory protections and controls;
- many trees within the village are protected under either a Tree Preservation Order or by virtue of the conservation area designation
- the Green Belt boundary is tightly drawn around the village and there are very strong national and local policies<sup>4</sup> against inappropriate development in areas designated as Green Belt;
- the countryside surrounding the village is designated as a **Special Landscape Area**, the visual character and amenity of which is specially protected under the UDP;<sup>5</sup>



*Mature trees, a feature of the village*

- the Parish of East Keswick includes one **SSSI**<sup>6</sup> (Keswick Fitts) and two **SEGI**'s<sup>7</sup> (Ox Close Wood and the River Wharfe upstream and downstream) which are protected under the UDP;<sup>8</sup> Keswick Meadow is designated under the UDP as a Leeds Nature Area (LNA 61) and Frank Shires Quarry is currently protected as a site of local conservation interest.<sup>9</sup> Ox Close Wood, Keswick Meadow and Frank Shires Quarry are managed by the East Keswick Wildlife Trust;
- there is a network of existing public footpaths and other rights of way in and around the village which form an attraction to visitors as well as local residents and there are opportunities for significant enhancements to that network.

<sup>1</sup> Under section 69 of the Town and Country Planning (Listed Buildings and Conservation Areas) Act 1995.

<sup>2</sup> The Village Plan shows the boundaries for the Conservation Area.

<sup>3</sup> Policies N18–22.

<sup>4</sup> See Policies N32 and N33, and Appendix 5 of the UDP.

<sup>5</sup> See UDP SP2 and N37.

<sup>6</sup> Site of Special Scientific Interest designated under section 28 of the Wildlife and Country Act 1981.

<sup>7</sup> Site of Ecological or Geological Interest.

<sup>8</sup> Policies N49 and N50B.

<sup>9</sup> Designated under policy CTS 6 of the Wetherby and District Local Plan. This site will be considered for designation under a review of the Leeds nature conservation strategy.

## 2. HISTORICAL INFLUENCES

### *A village since Domesday*

- 2.1 This Village Design Statement is intended to assist the Council in discharging its duties in regard to the Conservation Area as well as in its general duties as Local Planning Authority for the area. In later sections, policies are proposed which will help to influence decisions that will preserve and enhance the village's special character and appearance, which owes much to its history.
- 2.2 Much of the village was designated as a conservation area in 1974. This was based upon the Council's recognition that the village has a "special architectural or historic interest" which it was desirable in the public interest to preserve or enhance. In his report to the Planning and Development Committee (referred to later as "the 1974 committee report"), the Director of Planning described East Keswick as a "...fine example of an old farming village, consisting of tightly developed, pleasant, small stone properties, and includes two churches, a Church of England school and two public houses." In view of the evident pressure for development in the village, he advised that "any further development clearly needs to be carefully integrated with the old village and this can be more closely controlled within a designated conservation area."
- 2.3 The village is mentioned as "Chesinc" in the Domesday Book under Tor the Saxon lord. Its name may mean "cheese farm". The siting of the village may have been in part due to the concentration of springs rising to the surface in the area, as shown by the number of pumps and wells still evident in the village. Its history is outlined in "East Keswick – The Millennium Book," published in 2000.



*School Lane from Main Street showing Flour Mill and Moons grocer's shop (1861)*

- 2.4 The character and visual qualities of East Keswick strongly reflect its history and it retains important buildings and other features from its largely agricultural past. The area has been related to agriculture and its associated trades from the earliest times until relatively recently, when its population largely ceased to be employed in agriculture. Old



*Looking up Main Street*



*Ryder Cottage, Main Street, thought to be mid 1700's*

maps show that the footpaths and lanes provided strong links to Harewood, which appears to have been the centre of legal, administrative, agricultural and ecclesiastical activity for the village for much of its history. Most of the land in the parish belonged to the Harewood Estate until 20th June 1950, when death duties resulted in much of the land in and around East Keswick being sold.

- 2.5 Many of the smaller farms in the area have now been amalgamated with larger agricultural holdings and the farmhouses and some land sold off for development. There is only one market garden remaining. The intensification and increasing commercialisation of agriculture has also meant that historic field boundaries have been destroyed in the interests of efficient arable production. This has, since the Second World War, profoundly changed the character of the countryside around the village.
- 2.6 There are references to former sandstone quarries around the village on the Area Map. In times before bulk road transport it was more economical to exploit local building materials rather than to transport them over long distances. This explains why most of the buildings in the historical core of the village are constructed of sandstone. Rail and improved road transport made it easier to import materials from further afield and in more recent developments there is greater diversity in building materials.
- 2.7 The coming of the North Eastern Railway to the village in 1876 began a trend towards commuting to work from the village and this has continued at a greater pace with the use of cars in modern times. The village today functions principally as a dormitory, with very few inhabitants having their employment in the village. Nevertheless, replies to the VDS survey suggest that 61% of the 295 respondents spend four hours or more each day between 9 a.m. – 6 p.m. in the village. This reflects the number of villagers who are either looking after young families, are working from home or are retired.
- 2.8 The present village has no school of its own, but in the past there were several schools, beginning with a Sunday School which opened in 1814 at the

instigation of one of the residents and the Vicar of Harewood, and culminating in the primary school which closed in 1990. This developed into a full day school for local children and by 1851 there were some 40 pupils paying a penny a week to attend. It was located in Moor Lane close to Burns Farm. The renowned Laurence family's school and academy operated in School House (a building dating from 1696), which can still be seen in School Lane although it ceased to be used as a school after the death of Mr Joseph Laurence in 1886.

- 2.9 East Keswick achieved international celebrity through the Laurence Academy. This institution flourished in the latter part of the nineteenth century up to the death of Joseph Laurence in 1886. It prepared young men for the Methodist Ministry and teaching in various parts of the British Empire and in particular Newfoundland. The present Methodist Chapel was built as a memorial to Joseph Laurence by his former pupils around the world and is a significant landmark in the village.



*Joseph Laurence 1819-1886*

2.10 The 1851 OS 1:2500 map of the Village shows the historical pattern of development fronting along Whitegate, Main Street, Lumby Lane, Moor Lane and School Lane together with isolated outlying farms. This has provided a legacy of key buildings in the village. **Appendix A** to this statement contains a list and appraisal of the Listed buildings in the Village. **Appendix B** lists many other buildings that are considered by the local community to be historically and architecturally valuable parts of the overall tapestry of the village.

2.11 Later sections of this statement recommend specific criteria and principles aimed at providing guidance and control in order to protect the best and most distinctive historic aspects of the village and its surroundings.



*Church of St Mary Magdalene, Moor Lane*

### 3. THE COMMUNITY

3.1 At present, the village contains about 450 houses and 1200 inhabitants and the responses to the Questionnaire showed that the majority of homes are owner-occupied. It has trebled its population since 1891, and the number of houses has increased fourfold. It can still be described as a “small” village by comparison with others in the district, but considering its size, there is still a reasonable range of facilities to meet the day to day needs of the community either in the village or in nearby settlements.

3.2 In the past, when travel was far more difficult than it is today, the village included many more shops and facilities. The ability to travel more easily led to a decline in local services. Today, there is generally an increased reliance on motorised transport (particularly the private car) to gain access to a wide range of facilities such as large shops, public services and schools as well as places of employment and entertainment. This is a trend which both the Government and the Council aim to reduce, which may in turn mean that local services in the village enjoy a renewed importance.

3.3 There are currently a Post Office and general store and a butcher’s shop within the village. There are three public houses within the parish (as there were in 1841), Methodist and Anglican Churches, as well as a prescribing doctor’s surgery.



*East Keswick Village Hall*

3.4 The village hall is extensively used by local groups during the week for such events and activities as Guides and Brownies, Women’s Institute, Yorkshire Countrywomen’s Association, Eskape (a younger women’s group), a Flower Club, a mother and toddler group and other recreational activities such as indoor bowls, snooker and badminton. Its hours of use are restricted by planning condition and this restricts its use as a place of public entertainment, particularly at weekends. Strong views were expressed in the VDS Survey in favour of finding a way to extend the hours of use of the village hall without unacceptably affecting local residential amenity by noise and disturbance.

3.5 The closure of the school in 1990 has affected the social life of the community. The school was a centre of activity and for many families a major influence on life in the village. Nearly all villagers had an affinity with the school, as evidenced by the many comments made during the VDS survey.

3.6 The village also has both football and cricket teams with their own sports ground situated close to the north west boundary of the parish (see Area Map). There are two tennis courts and a small playground for young children.



*East Keswick sports field*

- 3.7 The Parish Council undertakes the legal responsibilities of local government, including the setting of a precept. It consists of seven members elected for a four year term and has the remit to represent the views of local residents to all statutory authorities. It is also often instrumental in the development of local community groups.
- 3.8 Various open spaces within and around the village, including Carr Green Play Area and Tennis Courts, the War Memorial, two memorial gardens, and the car park at the junction of Crabtree Lane and Harewood Avenue are owned by the Parish Council. It also owns the Frank Shires Quarry and field and Keswick Meadow nature areas, which are managed by the East Keswick Wildlife Trust and in parts of which there is only restricted public access because of the need to protect and enhance their wildlife and habitat value. East Keswick Wildlife Trust also owns and manages Ox Close Wood as a nature reserve on the southern bank of the River Wharfe. Public access is permitted to the footpaths through the reserve.



*Duke of Wellington, Main Street*

- 3.9 According to responses to the VDS Survey, East Keswick is currently seen as being deficient in greenspace. There is no village green and such a facility, if it could be provided in the future would be a major asset. This should ideally be located as close as possible to the village hall. In addition to preserving the integrity of the areas that do remain, any significant development in the village must include the provision of new Greenspace within the development or (if this is more appropriate) contribute to off-site provision.<sup>10</sup>
- 3.10 Having previously lost facilities which were valued by the local community, it is important for the sustainable future of the village that such trends are arrested as far as possible.

#### **POLICIES AND CRITERIA PART A: COMMUNITY FACILITIES**

- A1. **Changes in use of the public facilities within the village described in this section (particularly the shops, doctor's surgery, public houses and other public amenities) should be discouraged unless there is clear evidence that their value to the local community is outweighed by the public benefits of the development proposed.**<sup>11</sup>

- A2. **Greenspace and other sporting or recreational facilities within the village and its neighbouring countryside should be protected from development that would result in an overall loss or disbenefit in terms of public recreation, sports or amenity.**<sup>12</sup>

<sup>10</sup> Policy N4 and Supplementary Planning Guidance No.4.

<sup>11</sup> Policies LT1 and SA8.

<sup>12</sup> Policies N1 and N6.

## **4. THE BUILT ENVIRONMENT**

- 4.1 The character of the village is strongly influenced by the pattern of the road network. Most of the buildings and features of architectural or historical interest or special character are concentrated in Main Street, Whitegate, Moor Lane and School Lane. The point where these roads meet is known locally as "City Square" and represents the historic core of the village. Moor Lane extends westward from Main Street and was the main link to the various lanes and footpaths which led towards Harewood in past times. School Lane extends for a short distance to the east of Main Street and now includes the Village Hall, which was built in 1985.
- 4.2 Appendices A and B to this Statement list and briefly describe those buildings which are either listed<sup>13</sup> or are considered by the local community to make a particularly important contribution to the character and appearance of the village. Most of them are also within the conservation area. All of them require protection from unsympathetic development or redevelopment in order to safeguard the special character of the village.



*The Old Parsonage*

- 4.3 One of the more important features of the village is that it has so far managed to incorporate a wide diversity of architectural styles without harm to its overall integrity or attractiveness. Examination of the different styles of building within the village reveals that some developments in the village integrate more



*Extensively altered 1970's house in Rose Croft*



*1920's Semi-detached houses in Allerton Drive*

successfully than others. This Statement seeks to identify the main principles which need to be applied to new development in order to ensure that new development avoids harming the special character and qualities of the conservation area as well as integrating with the village context generally<sup>14</sup> and having appropriate regard to the principles identified in the DETR's recent publication "Better by Design".

4.4 The 1974 committee report characterised East Keswick as "a fine old farming village" and highlighted the "tightly developed, pleasant, small stone properties." This is an apt description for many of the residential properties in the Conservation Area at the historic core of the village but by no means all of them. The description evokes the close texture of the older development along much of Main Street, Moor Lane and School Lane. There are also larger properties in more spacious plots, including the older farm properties, churches and public houses around which the village originally revolved when it was a more self-sufficient community. The stone walls enclosing the main streets through the village reflect its agricultural past and merit protection: further erosion of these features should be resisted.

4.5 Most of the houses built prior to 1890, including the older public buildings mentioned above, are constructed from locally quarried sandstone including 'Spofforth Red', with predominantly stone or blue slate roofs. There are one or two notable exceptions which have pantile roofs (Eg. "One-up One-down Cottage" and Jessamine Cottage).

4.6 The newer, and generally larger, houses, which were built in the last decade of the 19th century and in the 20th century, are more "suburban" in style. They came to the village after improved transport links to surrounding towns and cities allowed more prosperous people to live in the village and commute to work in the urban areas.

4.7 Though the village contains many buildings of varying design, construction and appearance, the overall impression of the village is gained from the older houses built of stone and these may be said to determine the essential character of the village. The following architectural details characterise many of the buildings within the Conservation Area:

- Small-scale typically two-storey rural vernacular buildings with simple detailing;
- Tight-knit texture of the building frontages close to the edge of the road and variety in the orientation of the buildings to the road;
- Sandstone walls laid to course with many examples of diminishing courses;
- the older houses have punch-faced course stone walls with bagged-off pointing or flat pointing – this is a detail that has been omitted in more modern developments and creates a less satisfactory relationship with the older styles in the village;
- Slate, stone or pantile roofs;

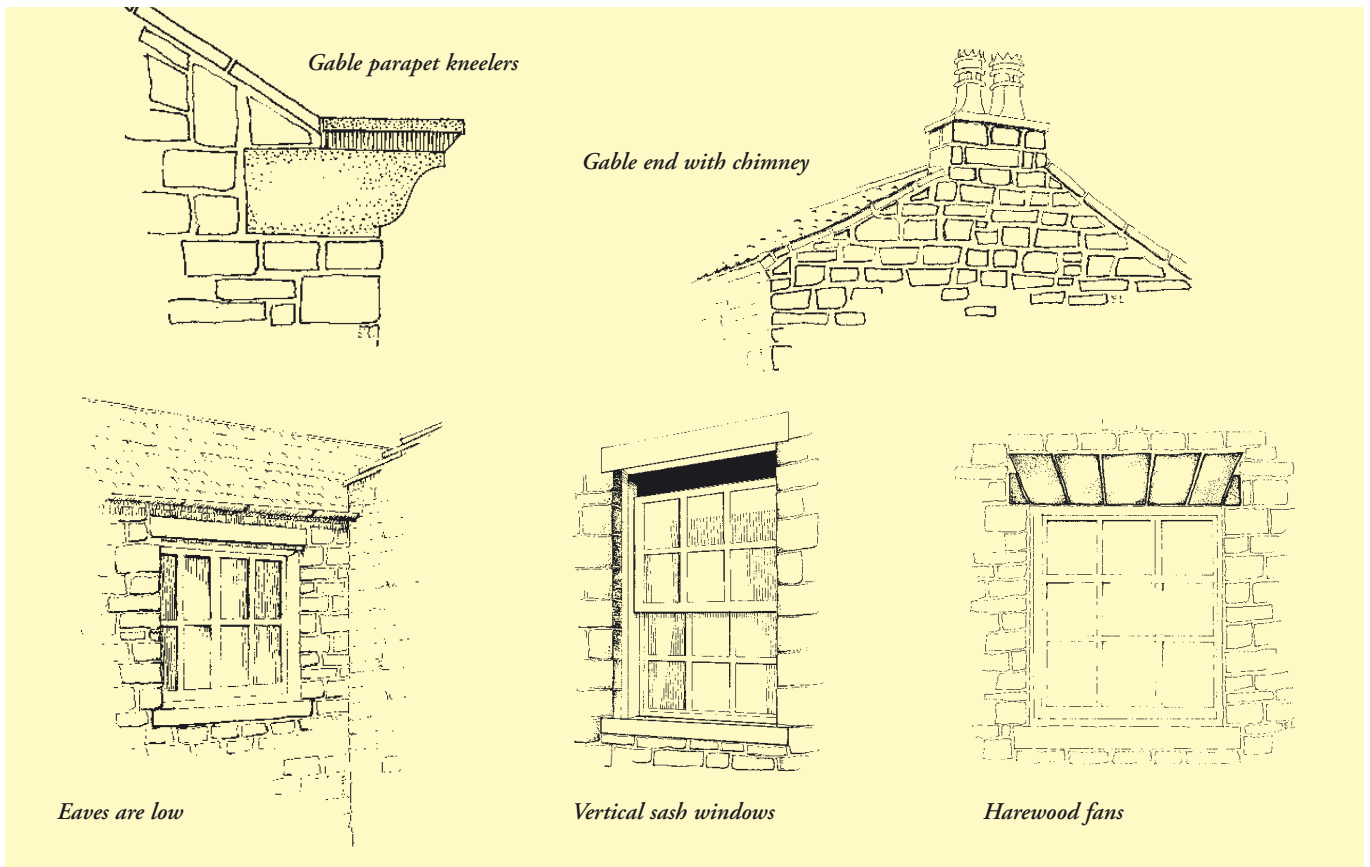


*Moorlands, Victorian Villa, Whitegate*



*Field House during recent renovation*





- Varied roof lines which produce a perception of smaller scale and a more rural “village” style (ie dwellings composed of several “boxes” each with a separate roof);
- Capped gable parapets featuring ‘kneelers’ constructed at eaves level;
- Eaves are low (i.e. first floor window lintels are usually just below the eaves);
- Gable ends incorporating a chimney breast built into the thickness of the gable wall;
- Door and window openings in walls are small and have plain stone lintels;
- Vertical sliding sashes with ovolo moulded beads and horns;
- Windows, with the exception of bays, are small, of painted timber with small to medium sized panes of glass, stone sills, mullions, lintels and jambs with some openings formed with segmented heads known locally as “Harewood Fans” and derived from the Harewood Estate;
- Doors typically with porches in scale and style to suit development;
- Some prominent boundaries are marked by high stone walls (some with impressive gate piers) or mature trees and high deciduous hedges which make a significant contribution to the character and appearance of the conservation area. The copings on walls are often either flat capped or curved. Some coursed stone walls also enclose small courtyard developments and “hidden” gardens;
- Enclosed cottage and other domestic gardens;
- Key spaces within the village as identified in Appendix B and the village plan.



*Old oak tree retained within new development*

4.8 Throughout the village and on its approaches (including the approach along Harewood Avenue) the mature trees and hedges make an important contribution to the special character of the village. Some of the trees also enhance the Special Landscape Area which surrounds the village. Many are specifically protected by Tree Preservation Orders. Within the Conservation Area there are additional statutory controls on the treatment of all trees above a certain size. Despite this protection, over the last three decades, 38 out of the 86 mature trees protected under the TPO have been lost and this emphasises the importance of ensuring that trees are adequately protected and that careful consideration is given to

the need for replacement planting and the inclusion of locally appropriate tree planting in landscaping schemes.

- 4.9 Reflecting the agricultural origins of the village, gates are mainly farm style (5 bar) or close-boarded. High wrought iron gates were felt by the majority of respondents to the VDS survey to be inappropriate to the village because they are essentially modern suburban features.



*Traditional style gate, Moor Lane*

- 4.10 Whilst the less successful developments of the twentieth century are visible at a distance, particularly from the southern approach, they have limited impact on the character of the village because they are largely tucked away behind the main streets of the village. Many of these developments have been designed in a uniform manner with little regard to the use of appropriate vernacular materials or styles. If these properties are redeveloped, care should be taken to ensure that the new buildings are in sympathy with the overall character of the village.

- 4.11 More recent developments have stone walls and slate roofs, but lack variety in the colour of stone and display a uniformity of design which does not reflect the rural character of the earlier village buildings.



*Argyle Mews built in late 1980's*

This tends to produce an overall bland appearance. Such modern developments often incorporate suburban “executive” housing styles, which are out of character with the village and ought to be resisted in the future. The design of new development within the village should as far as possible reflect the styles of the predominant character of the village as described in the 1974 committee report as quoted at paragraph 4.4 of this statement.

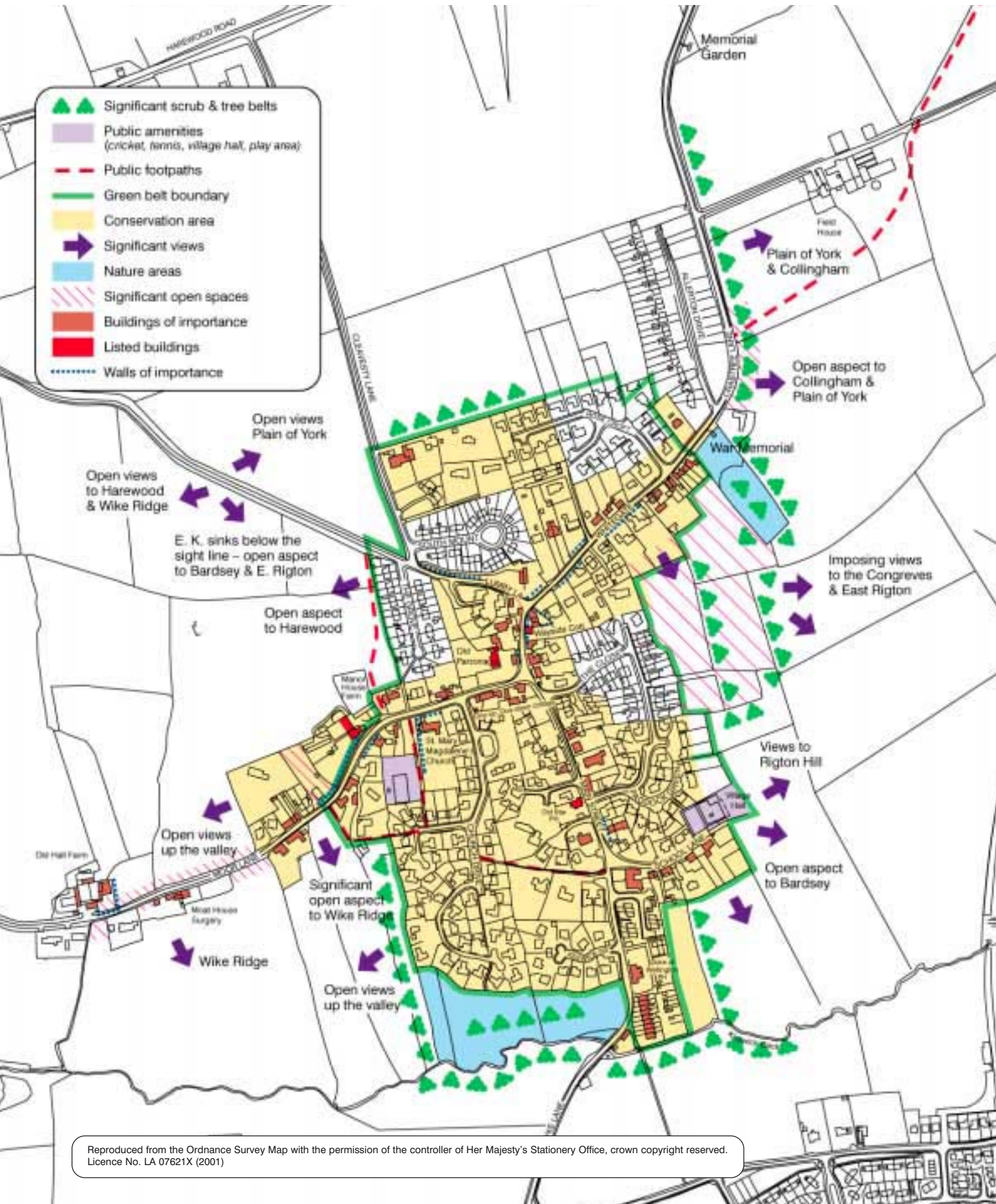
- 4.12 There are examples of high quality modern development which are regarded as being in sympathy with the aims and purposes of the Conservation Area and which serve as an example of the standard which should be attained. These include Argyle Mews (off The Close) which is a fine example of small-scale housing, allowing younger people to settle or stay in the village rather than being forced to leave to set up home.
- 4.13 In Main Street from Wayside Cottage to the Old Forge there are very distinctive white railings which border the pavement where it is at a higher level than the road. The Parish Council has taken responsibility for the railings.



*The white railings*














- 4.14 The UDP does not identify any sites within the village for development. It is hoped that any development opportunities will be in the form of modest redevelopment of existing building plots, “garden” developments or extensions to existing buildings. There is a need to ensure that such developments are sympathetically designed so as to avoid harm to the conservation area as well as providing development which is acceptable within the wider village context. The use of high Leylandii conifer hedging was criticised in the survey and landscape schemes for new development should be encouraged to use locally appropriate species.
- 4.15 Development also needs to respect the Special Landscape Area around the village. Local topography means that development in various parts of the village, will be highly visible from the surrounding landscape. Particular care must be taken in such locations to avoid harm to the special visual quality

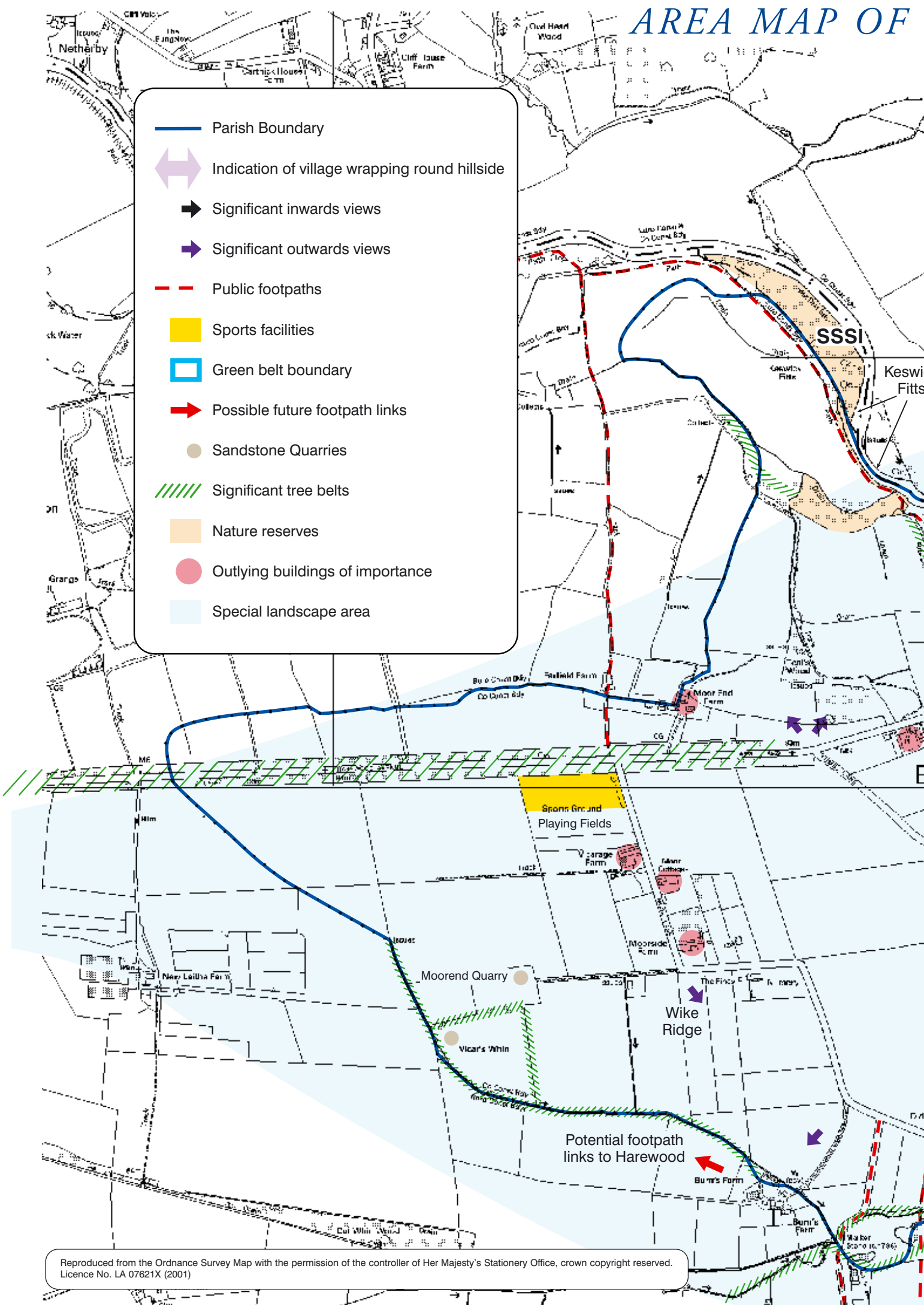
# EAST KESWICK VILLAGE PLAN



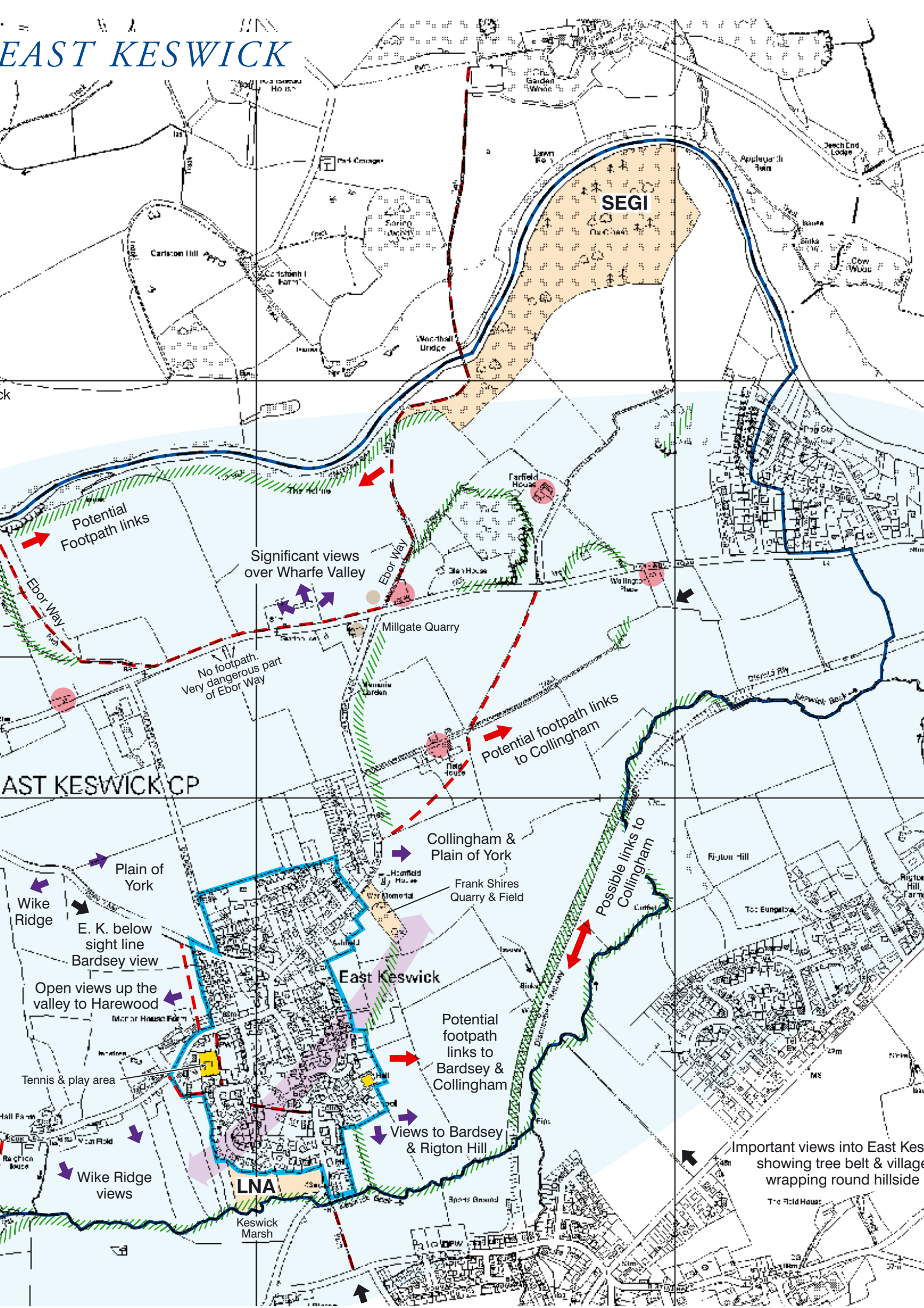
Reproduced from the Ordnance Survey Map with the permission of the controller of Her Majesty's Stationery Office, crown copyright reserved. Licence No. LA 07621X (2001)

# AREA MAP OF

-  Parish Boundary
-  Indication of village wrapping round hillside
-  Significant inwards views
-  Significant outwards views
-  Public footpaths
-  Sports facilities
-  Green belt boundary
-  Possible future footpath links
-  Sandstone Quarries
-  Significant tree belts
-  Nature reserves
-  Outlying buildings of importance
-  Special landscape area



# EAST KESWICK



**SEGI**

Significant views over Wharfe Valley

Potential Footpath links

No footpath. Very dangerous part of Ebor Way

Potential footpath links to Collingham

EAST KESWICK CP

Collingham & Plain of York

Plain of York

East Keswick

Potential footpath links to Bardsey & Collingham

Views to Bardsey & Rigton Hill

Open views up the valley to Harewood

E. K. below sight line Bardsey view

Wike Ridge

Wike Ridge views

Important views into East Kes showing tree belt & village wrapping round hillside

LNA

Keswick Marsh

Frank Shires Quarry & Field

Rigton Hill

Top Eungabaw

Rigton Hill Farm

Top Eungabaw

Top Eungabaw

Top Eungabaw

Top Eungabaw

Top Eungabaw

Top Eungabaw

1851 OS MAP OF THE AREA



and character of the countryside and to provide a landscaping scheme which deals positively with the transition between the development and the open land in order to assimilate the development into the landscape.<sup>15</sup>



*Development and open land in harmony*

<sup>13</sup> Under the Listed Buildings and Conservation Areas Act 1990.

<sup>14</sup> In accordance with UDP policy N13.

<sup>15</sup> In accordance with UDP policy N24.

## **POLICIES AND CRITERIA PART B: THE BUILT FABRIC OF THE VILLAGE**

### **B1) DEVELOPMENT WITHIN THE VILLAGE GENERALLY**

All new development within the Village, including conversions of existing premises, should be designed so as to relate appropriately to its location in a “fine example of an old farming village” and a Special Landscape Area, paying particular attention to the following considerations:

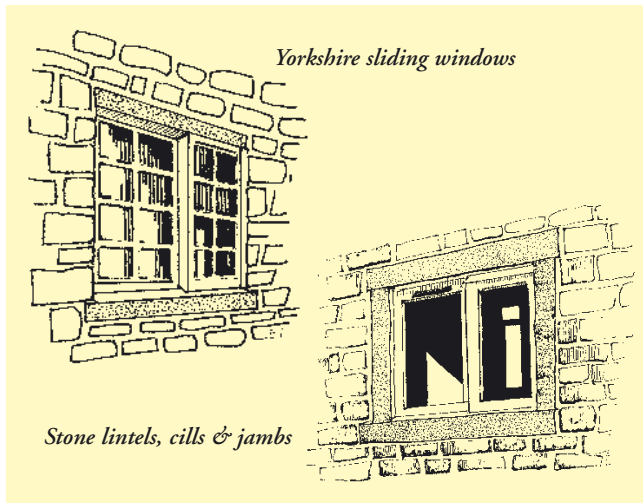
- a) due account should be taken of the local assessments of the buildings in Appendices A and B in determining any application for development affecting the village;
- b) new and extended buildings should be in harmony with the predominant character of that part of the village and respect the scale style and detailed design of other buildings in the immediate vicinity to avoid urban or suburban built forms and styles which may harm the overall rural character and appearance of the village;
- c) the materials used should relate well to their immediate surroundings, including preferably natural stone of appropriate colour and size for exterior building elevations and boundary walls and stone or slate roofing materials (or pantiles in those parts of the village where such roofing materials have been used on existing buildings); the use of brickwork on external elevations of new buildings or extensions will generally be resisted;
- d) on larger buildings or collections of buildings roof lines and building elevations should be configured and broken down in scale and massing so as to achieve a rural vernacular style which is sympathetic to the character of the village;

- e) roof designs should avoid high gables, steep pitches and hipped roofs;
- f) planting schemes<sup>16</sup> should be generous and should use locally appropriate species of trees and shrubs to enable the proposed development to be acceptably integrated into the existing visual and ecological fabric of the village and its rural setting;
- g) development should generally reflect the tight-knit texture of the village in accordance with the principles of good urban design;
- h) smaller and affordable new housing development should be included unless it is clearly demonstrated that there is no demand for such homes in the village;
- i) new development should provide adequate off-street car parking<sup>17</sup> to serve the needs of the development without aggravating existing problems of on-street parking;
- j) new development should protect existing rights of way and make provision for new pedestrian routes and other rights of way so as to preserve and enhance pedestrian access within the village and the surrounding countryside;
- k) new housing development should make an appropriate contribution to increase the amount of accessible greenspace within the village;<sup>18</sup>
- l) development which may obstruct or harm existing public views of the significant features within the village identified in Appendix B or significant views of the surrounding countryside (including those which are shown on the Village Plan and on the Area Map) should be resisted;
- m) Street furniture should be to a design and quality which is seen to preserve and enhance the visual quality of the village.

### **B2) DEVELOPMENT WITHIN THE CONSERVATION AREA**

In determining any application for development affecting the East Keswick Conservation Area<sup>19</sup> or for the total or partial demolition of buildings within the Conservation Area due account should be taken of the local assessments of the buildings in Appendices A and B:

- a) the demolition of those buildings which make a material contribution to the character or appearance of the Conservation Area or its setting should be resisted;
- b) new buildings (or extensions or alterations of existing buildings) should be in harmony with the scale, height, massing, materials and significant design details of the buildings within the immediate surroundings of the proposed development site (including the boundary walls or fences, roofscape and landscaping) and should preserve or enhance the character and appearance of the village conservation area;
- c) natural sandstone (and preferably reclaimed stone for small-scale infill developments or extensions) should normally be used on external walls and any boundary walls for development within the conservation area and in any locations



- elsewhere in which the proposed development may have a visual impact on the conservation area unless native hedging is more appropriate;
- d) blue slate or Yorkshire stone or clay pantiles should generally be used as roofing materials on all buildings or extensions within the conservation area and in any locations in which the proposed development may have a visual impact on the conservation area;
- e) windows and doors on new development within the conservation area should be of a design and appearance which reflects the traditional styles within the conservation area.<sup>20</sup>

<sup>16</sup> LD1 and N24.

<sup>17</sup> See Section 6.4.

<sup>18</sup> Policy N4 and Supplementary Planning Guidance No.4.

<sup>19</sup> Policies N18–N22.

<sup>20</sup> See sketches.



*Wharfe Valley from Harewood Avenue*

## 5. THE RURAL ENVIRONMENT

5.1 The designation in the UDP of the countryside around the village as a Special Landscape Area reflects the attractiveness of this part of the Leeds Metropolitan District both for residents and for the many visitors who come to enjoy the rural quality of the area as a recreational resource. The Leeds Landscape Assessment, prepared by the Council and

the Countryside Commission, contains a detailed analysis of the landscape features in this area and identifies as one of its distinctive characteristics “the high density of picturesque village settlements such as ....Bardsey, East Keswick and East Rigton which nestle in the valleys and on the slopes.” The parish includes the following four distinct landscape types identified (and more fully described) in the Assessment and in the East Keswick Wildlife Trust Landscape and Wildlife Assessment document:

- river floodplain;
- east Harewood pastoral escarpment;
- pastoral plateau farmland; and
- small scale farmed ridges.



*River Wharfe and floodplain*

- 5.2 This analysis helps to understand the visual and ecological diversity and richness in the landscape around the village and underlines the need to take these qualities into account in any development decisions that may affect the area so as to protect them from harm.
- 5.3 The Wharfe Valley lies approximately 400 metres to the north of the settlement and provides exceptionally attractive views which are visible from many public vantage points. This valley is of more than local value as it provides some of the best landscape in the whole district and its preservation is of great importance. The Leeds Landscape Assessment suggests that the overall management strategy for this pastoral escarpment area should be one of conservation of the important and characteristic features of the wooded and pastoral slope. This should be combined with restoration of the traditional farmland features such as hedgerows where these are in decline, and there are some opportunities for enhancing the wooded copses and coverts through small scale planting with the cooperation of local landowners.
- 5.4 East Keswick lies on the northern and western slopes of Keswick Beck which flows as an open watercourse between East Keswick and Bardsey. The Eastern flanks of the village are clearly seen climbing this slope to the horizon from many viewpoints on the main A58 (Leeds to Wetherby) road and from Bardsey, East Rigton and parts of Collingham.





*Keswick Beck*

- 5.5 The Area Map and the Village Plan show key landscape features, including important woodland and scrub areas, outlying buildings of traditional rural style and materials, as well as footpaths and important viewpoints within and outside the village from which the village and its setting can be enjoyed. Any development that adversely affects these features would be likely to cause harm to the overall character and appearance of this landscape.
- 5.6 The village is a popular staging post for cyclists and walkers. The West Yorkshire Cycle Route passes through the centre of the village. Anglers visiting the Wharfe valley for a day's fishing also use the car park at the end of Crabtree Lane.
- 5.7 Future development could bring about a merger with either of the neighbouring villages of Bardsey and Collingham. This would destroy the character of the village. East Keswick is one of several villages and hamlets which are clustered in this north-eastern part of the district which includes also Bardsey, Rigton Hill, East Rigton and Collingham. The open gaps of countryside between them have already been eroded in recent decades so that the degree of separation has been reduced at certain points to a minimal level. This is particularly important on the eastern and south-eastern side of East Keswick where the slope of the hillside on which this part of the village is built reduces the visual separation of East Keswick from Bardsey, Rigton Hill and East Rigton. Any further erosion of the Green Belt on this side of the village should be very strongly resisted.
- 5.8 The countryside around the village is in danger of being eroded and degraded by the conversion of traditional farm buildings to residential use, which may then be replaced by modern pre-fabricated agricultural buildings intrusive in the landscape. This is frequently associated with the sub-division of agricultural holdings.
- 5.9 Green Belt and SLA designations will provide the necessary policy basis for resisting such harm to the countryside. In any review of the UDP these policies should be maintained in the interests of preserving the integrity and distinctive character of these

settlements, the openness of the Green Belt and the special quality of the landscape. The Special Landscape Area extends well beyond the parish boundary and harmful impacts on the special quality of this landscape will affect the wider public interest.

- 5.10 The village is visible over a wide area, both within the UDP area (ie Leeds Metropolitan District) and beyond, including many attractive viewpoints in North Yorkshire. There are prominent views of the village from the Leeds Country Way on Wike Ridge (to the South of East Keswick); from Rigton Hill and Compton Lane (to the East); from rural roads and footpaths around the Wood Hall and Paddock House Farm estates (in North Yorkshire) to the North; and from parts of the Harewood Estate (to the West).
- 5.11 The visual quality and character of East Keswick is inextricably linked to the countryside which surrounds it and which forms the majority of the parish (see the Area Map). Although there is no longer a close economic interdependence between the village and the surrounding countryside, the village still enjoys very close links with its rural hinterland. For example:
- The village is an important and positive visual feature within the Special Landscape Area;
  - Equally the countryside is an important visual influence in the village, contributing greatly to the special character of the village as an attractive place to live and visit;
  - Villagers and many visitors enjoy the amenities (including the public houses, the shop and the car park, as well as the footpaths and general visual quality) which the village has to offer, as part of recreational visits;
  - The main routes to and from the village still pass through the surrounding countryside;
  - The north east approach road (Crabtree Lane) has a line of lime trees (unusual in the area), each bearing a name to commemorate villagers who died in service during the First World War;
  - The village is an important point of convergence for several attractive rights of way which radiate through the surrounding countryside;
  - The East Keswick Wildlife Trust (a registered charity) is mainly funded by local membership and grants which include those from the Parish Council. It was formed to conserve and manage wildlife habitats for ecological and public benefit,



*Memorial trees, Crabtree Lane*

including Ox Close Wood, Keswick Meadow and Frank Shires Quarry and field. Much of the conservation work is managed and largely executed by villagers. The Trust promotes wildlife education and survey work with local adults and children and encourages local landowners to include nature conservation principles within their management objectives.



*Ox Close Wood Nature Trail*

5.12 A wide variety of wildlife can be seen in and around the village, including badgers, roe deer, foxes, curlews, yellowhammers, kingfishers, herons, owls, and both house and sand martins. There have been several sightings of the red kite recently released at Harewood. Thistle broomrape (a plant parasitic of thistle which is a nationally rare species found only in Yorkshire) grows in the parish.

5.13 This diversity is in part due to the existence on the village boundaries of small parcels of land not in intensive cultivation. These small uncultivated fields, developing scrub and woodland, provide valuable habitats for the breeding and feeding of local wildlife. With increasing pressure on the countryside from village expansion the preservation of these small areas should be recognised as of importance and the need to conserve and protect them from development should be given a high priority. These areas are also visually attractive and add a positive and pleasing edge to the views from surrounding villages and viewpoints. The maintenance of these natural buffer zones would also help to maintain the rural feel of the village. There are opportunities to develop local initiatives to conserve and maintain these species-rich habitats.

## **POLICIES AND CRITERIA PART C: LANDSCAPE AND WILDLIFE**

- C1) The value of the Green Belt around the village in serving the Green Belt purposes should be recognised in any reviews of the UDP.
- C2) Where development is permitted on the edge of the existing village (but outside the Green Belt) or on other sites within the village which are prominent from the surrounding countryside:
  - a) landscaping schemes will be required to achieve a satisfactory transition between the proposed

development and the open countryside for the purposes of preserving or enhancing the visual and ecological value of the countryside around the village;

- b) development within the Special Landscape Area around the village or on sites within the village which are visible from the Special Landscape Area will be permitted only if it does not materially affect the special visual quality and character of the Special Landscape Area.<sup>21</sup>
- C3) The City Council should take due account of any representations or advice from the East Keswick Wildlife Trust when determining any planning applications likely to affect the ecological interests around the village. It would be beneficial if prospective developers were to consult the East Keswick Wildlife Trust in formulating their proposals.
- C4) Planning permission should be resisted for (a) inappropriate development in the Green Belt around the village and (b) any development which would materially harm the special quality of the landscape or ecological features in and around the village.<sup>22</sup>
- C5) Where the change of use of redundant agricultural buildings in the Green Belt is permitted by the grant of planning permission, the Council should, where possible, seek restrictions on the future construction of replacement agricultural buildings on the residual agricultural landholding of which such buildings form a part. Where appropriate, such restrictions should be imposed either by means of planning conditions or planning obligations prior to the grant or as part of the planning permission in respect of such change of use.<sup>23</sup>
- C6) Any planning permission granted for development in and around the village should be subject to conditions or planning obligations that adequately protect and (where appropriate) enhance the landscape and ecology of the village and provide a satisfactory transition between the built environment and the countryside.<sup>24</sup>
- C7) Wherever appropriate valuable woodlands, trees, hedges and other landscape features in the countryside around the village should be protected and enhanced. The Leeds Landscape Assessment will be an important material consideration in determining any applications affecting such matters.

<sup>21</sup> Policies N24, N25, N32, N33 and N37 of the UDP and paragraph 3.15 of PPG2.

<sup>22</sup> In accordance with UDP policies N24, N33, N37, N49 and N50.

<sup>23</sup> UDP planning obligation Policies GP7A and GP7B.

<sup>24</sup> Policy N24 and N51.

## **6. HIGHWAYS AND ACCESS:**

- 6.1 The village is situated 10 miles to the north of Leeds, 4 miles south west of Wetherby and approximately 3 miles from the A1 intersection at Boston Spa. It is accessed from this major road network by four roads that lead from the A659 in the North and one from the South. The southern route from the A58 via

Bardsey, which crosses Keswick Beck at the Southern entrance to the village, is the main approach from Leeds and becomes “Main Street” as it enters the village.

#### ROAD SAFETY IN THE VILLAGE

- 6.2 The principal road through the village (Main Street/Whitegate/Crabtree Lane) is a bus route. The village is relatively well served by buses and there is now a half-hourly service to Leeds or Wetherby at most times of the day. School and supermarket buses also use this route.
- 6.3 The main road through the village has become a “rat run” for commuters and this is regarded by villagers as a road traffic hazard as well as a problem for residential amenity in the village. It is used as a diversion if there are traffic problems on the nearby A58, A61 and A659. Whilst there is a 30 m.p.h. speed limit, this is often ignored and speed of traffic is a major concern. As previously mentioned, the West Yorkshire Cycle Route also runs the entire length of this road. Traffic calming and appropriate traffic deterrent measures may slow traffic without significantly inconveniencing villagers and those who genuinely need to pass through the village.
- 6.4 In the centre of the village, there are some tight junctions, sharp bends and concealed openings which all result in poor visibility. Furthermore, unavoidable on-street parking, particularly on Whitegate, contributes to the traffic hazards. The old roads are narrow with houses or boundary walls built close to the roadside. Many of these roads do not have pavements. Where pavements exist they may be narrow, intermittent and only on one side of the road. Kerbs are characteristically low or (in some of the more rural lanes) are non-existent. These are



*Sharp bend at the bottom of Whitegate*

#### FOOTPATHS AND OTHER RIGHTS OF WAY

- 6.6 The Area Map and the Village Plan show the main public rights of way in the area.
- 6.7 Within the village there are few public footpaths other than roadside pavements and therefore those which do exist are all the more valuable and deserve careful protection. Wherever possible and without unduly compromising security, appropriate provision of, or improvement of pedestrian routes should be considered as part of any new development.
- 6.8 In the countryside around the village there are some very popular amenity footpaths and bridleways, some of which form part of a wider network, such as the Leeds Country Way and the Ebor Way. The car park at the end of Crabtree Lane serves as a meeting/setting off point for walkers and cyclists as well as a picnic area. Where opportunities arise this footpath and bridleway network should be extended and improved to serve the needs of the district as a whole as well as making the village more accessible.
- 6.9 Two examples of significant improvements which would benefit a wide section of the community are set out below.

#### EBOR WAY IMPROVEMENT

- 6.10 The Ebor Way path follows the river bank from Harewood and leaves the river at Keswick Fitts following Fitts Lane up to the A659 Collingham - Harewood Road. The choice then is either (1) to follow this busy road for a half mile and then return to the river down the bridle path to Woodhall bridge; or (2) to take a detour down Cleavesty Lane into the village and out on Crabtree Lane to the bridle path: a detour of about one mile. The first option is extremely dangerous due to the winding nature of the road, the blind bends, and the lack of a footpath or verge along much of this stretch, which gives the public no protection. It is recommended that a path be created along the riverbank as shown by a broken red line on the Area Plan. This would avoid the hazards associated with the current route and would greatly enhance the amenity value of the Ebor Way at this point.



*Crabtree Lane from Harewood Avenue*

features which are characteristic of an essentially rural village, in which standard urban traffic solutions would be harmful to its rural character.

- 6.5 The Parish Council will continue to consider suitable measures to resolve these problems and will make proposals to the local highway authority where possible but taking care to avoid measures which may harm the special character of the village.

## GREEN LANES TO HAREWOOD AND COLLINGHAM

6.11 Old maps of the area (see for example page 14) show that in the past there were historic green lanes and sunken paths, which reflected the strong social, economic, cultural and religious ties with the Harewood estate. These links (and routes in other directions) could be re-established today as a valuable amenity. They would form part of a network of safe bridleways, cycle and pedestrian routes permeating the countryside in the north of Leeds so that people could safely and sustainably enjoy the countryside whilst keeping fit and healthy. Such arrangements would need satisfactorily to protect the legitimate interests of farmers and landowners in protecting their stock and crops and other property. Restrictions might also be imposed to prevent use by motorised vehicles in the interests of public and residential amenity.



*The River Wharfe*

6.12 There are opportunities for the City Council and the Parish Council to achieve these significant enhancements to the rights of way network with the cooperation of local people, landowners and relevant amenity groups. Recent improvement work by the Harewood Estate in the woodlands alongside Harewood Avenue may provide an opportunity to create a safe and attractive route for pedestrians, horseriders and cyclists from the village to Harewood. The City Council and the Parish Council should consider how this local initiative could be progressed in cooperation with the Harewood Estate.

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## POLICIES AND CRITERIA PART D: HIGHWAYS AND ACCESS

- D1) The Highway Authority and the Parish Council should consider traffic calming and means of deterring through traffic from using the roads through the village as a rat run so as to improve road safety and residential amenity in the village.
- D2) In determining planning applications the Council should, in accordance with policy N10 of the UDP, seek to avoid any harm caused to the amenity value of public rights of way by a change in their character or visual outlook and should resist any proposals for diversions or closures which may reduce the amenity of walkers, cyclists or horseriders in the area.



*Historic Green Lanes and Sunken Paths*

- D3) Encouragement should be given by the Council and the Parish Council for initiatives which will improve and add to the network of local paths in and around East Keswick, particularly in relation to the following:
- a) the extension of the Ebor Way along the Southern Bank of the River Wharfe as shown on the Area Map by a broken red line
  - b) the provision of convenient and safe dedicated cycle routes and footpaths from the village to Harewood, Wetherby and Collingham including the A659 road;
  - c) The City Council and the Parish Council should encourage active maintenance and repair of the footpaths bridleways and other public rights of way in the area so as to promote their use and enjoyment by the community as a whole;



*Ebor Way from the river*

- D4) Standards should be encouraged for the provision of access roads and estate roads in the village which incorporate the following:
- a) where a pavement is considered to be essential for safety reasons it should be installed on only one side of the lane;
  - b) Kerbs on lanes and on other roads should be avoided or minimised as far as possible so as to reflect the rural character of the village;
  - c) Dropped kerbs should be used at crossing points on major pedestrian routes.
- D5) Where practicable footpaths and bridleways (including stiles and access gates) should be designed to enable access for all (including persons in wheelchairs and pushchairs).

## APPENDIX B

### OTHER BUILDINGS AND OTHER FEATURES (INCLUDING OPEN SPACES AND PUBLIC VIEWPOINTS) OF IMPORTANCE IN THE VILLAGE

NB: Even if a building is not listed but is within the Conservation Area, any alterations should preserve or enhance the Conservation Area and there should be a presumption that it should not be demolished. Conservation Area Consent will be required before any substantial demolition takes place.

Although none have been “Listed” (see Appendix A for details of the Listed Buildings) the following all make a positive contribution to the character of East Keswick and are so important in the street scene that their value should be taken into consideration as part of any development proposal.



North View, Moor Lane

#### MOOR LANE

1. North View including boundary walls, wooden gates, outhouses and the open spaces created by the garden and the yard.
2. Nos 1 and 3 Cottages
3. The village shop and post office.
4. Plum Tree Cottage and garden space.
5. Church of St Mary Magdalene, its church yard and boundary walls.
6. The stone boundary walls of “Imladris”.
7. Church View Cottage.
8. Valley Nursery Cottage.
9. Sunny Bank and its garden wall (c1750).
10. Pasture House, the walled garden, barns and stables, yard and its wall.
11. Open space between Pasture House and Ivy Grange
12. Ivy Grange House, barn and walled garden.
13. Open space created by fields between Ivy Grange and Moat House.
14. Moat House and the adjoining building used as a surgery, the boundary walls and grass verges. (Part of the fabric of Moat House is believed to date from the 1600s and Moat House was connected with Knight Crusader Ellis in 1670).
15. Open space created by fields between Moat House and Moat Field House.



Manor House Farm, Moor Lane – c1800

## APPENDIX A

### LISTED BUILDINGS WITHIN THE PARISH

1. Moorend Farmhouse – Harewood Avenue – Grade II
2. Milestone – Harewood Road 50m east of junction with Lumby Lane – mid 19th century – Grade II
3. Wayside Cottage and Stocks Hill Cottage (now known as Wayside Cottage), Main Street – mid to late 18th Century with 20th Century Alterations - Grade II
4. Manor House Farmhouse Moor Lane – c1800 – Grade II
5. Barn 1.5 m to north – west of rear of Manor House Farmhouse – c1800 – Grade II
6. One-up, one-down Cottage, Moor Lane - at junction with Church Drive – early to mid 18th Century – Grade II
7. The Old Parsonage, Main Street – early to mid 18th century with mid-late 19th century extension when it became a parsonage. Grade II.
8. The Old Star, Main Street – farmhouse altered to public house – early to mid 19th century (known to have been a public house in 1822). Grade II
9. Milestone – Harewood Road approximately 60 m east of junction with the lane to Moor Farm. Grade II.



The Old Star, Main Street

16. Open space created by fields between Moat Field House and Reighton House
17. Vicarage Farm including the stone boundary walls and the two storey stone barn with stone roof.
18. Moor Cottages (formerly Wrights Cottages) including the old stone gate posts (Cottages recently extended).
19. Moorside Farm including the stone boundary wall and stone gate posts.
20. Old Hall Farm, barn and outhouse (used as garage) garden walls and Old Hall Farm Cottage. (These were built c1700 from stone from the demolished Manor House in Moor Lane).
21. Open space created by fields between April Cottage and Old Hall Farm Cottage.
22. Row of three cottages (originally four) called Craine, Wilkinson's and Hope Cottages (These are known to be pre 1750 but the window structure of the lower left window in a photograph of Craine Cottage in East Keswick Remembered suggests that they could date back to the 17th Century).



*One-up, one-down cottage, Church Drive*

23. The space created by the garden of Albion Cottage and the stone wall round the garden.
24. The Boundary stone wall round Manor House Farm. This is most important giving very distinctive character to the street scene.
25. West End House.
26. Darwent House.
27. All the garden spaces and boundary stone walls from Manor House up to and including the walls of The Cottage and the stone walls on the opposite sides of the road.
28. Rose Cottage and The Cottage.



*Craine Cottage, Moor Lane is pre 1750*



*Moat House Surgery, Moor Lane*

#### WHITEGATE

29. Moorlands and its gardens and boundary walls. (This is a fine example of an improved late 1800s stone built merchant's house set in fine walled gardens).
30. Block of buildings from Hillcrest including the outhouse/garage up to and including Greenfields and including the iron railings of Heathfield Cottage. (Viz: Hillcrest, Burdette Cottage, Wall Cottage, Windy Ridge, Kinoull, Weemala, Kelsey Cottage, Heathfield and Greenfields).
31. The Coach House and Ashfield including the boundary wall.
32. Open space created by gardens and fields to the rear of Ashfield and the fields to the rear of the paddock.
33. Hillside including the iron railings and stone wall (this was originally a Primitive Methodist Chapel) and Mount Pleasant including the outhouse at the north end. East Ings (this was originally two cottages and Wesleyan meetings were held there from 1795).
34. 12ft high stone wall with buttresses forming garden wall from Greenfields to Beechwood House.
35. Southlands boundary wall.



*'Hillside' – once a Primitive Methodist Chapel*

36. Bank View and Whitegates (the only red brick Edwardian semi detached houses in the village with notable brickwork, mouldings over the front doors and stained glass).
37. Greystones including the boundary wall.
38. Elmbank including stone boundary wall and terraced steps and iron railings and Linden House and stone gate posts and part of a wall at the entrance at the junction with Lumby Lane and retaining boundary wall up to Cleavesty Lane.
39. Stone boundary wall from Greystones down to and including Ingle Nook.
40. Remaining wall of a demolished building now forming a 15 to 20 high boundary wall to Green Row.

## MAIN STREET

41. Vesper Cottage
42. Primrose Cottage.
43. Orchard Cottage and the open space between Orchard Cottage and Primrose Cottage.
44. Orchard House
45. Orchard Barn
46. The Old Parsonage Barn (adjacent to the Old Parsonage which is a listed building)
47. Nos 1, 2 & 3 Ingle Nook
48. Stone walls surrounding Nos 1, 2 and 3 Ingle Nook
49. Raised path (including sections of stone blocks) and white wooden railings.
50. Boundary stone walls and stone gate posts of properties from the corner of Lumby Lane along the west side of Main Street to the junction with Moor Lane including the Old Parsonage boundary walls.
51. Wrays Cottage (c 1805)
52. The Old Forge (c 1796)
53. Ryder Cottage (c 1650)
54. Elmwood and Briar Dene including the boundary walls (stone semis built in the late 1800s. The only examples of this type in the village).
55. Winton House including the boundary walls. (Very fine Victorian doorway with imitation Grecian pillars at each side).
56. The Methodist church including the boundary walls. (Formerly the Laurence Memorial Chapel built in 1891).
57. Low Cottage



*Jessamine Cottage probably dates from c1690*

58. Jessamine Cottage including the white wooden railings, stone wall round the garden and the flagstone entrance (c1696).
59. Clitheroe Cottage and South View Cottage including the stone boundary walls. (This was originally a Quaker Burial Ground).
60. Darley Cottage (c1750 greatly extended during 1990s).
61. Open space with weeping willow tree beside Butchers Shop.
62. The garden of Old Barn Cottage providing valuable open space and greenery in the street scene.
63. Laurel Bank (including the open space in front of the shop) and Flat No 2 with its very fine doorway.
64. Stone block driveway to the Orchards and frontage to the Lodge.
65. The Duke of Wellington Public House.
66. Brooklands (A terrace of late 1800s/early 1900s red brick houses with mock tudor gables and high chimney stacks).
67. Brookside Cottage. (Unique stepped north gable and white

colouring of walls is a distinctive feature on entering the village, complementary to the white rendering of Brooklands, The Orchards and The Lodge.

68. Stone walls and iron ballustrades of road bridge over the Keswick Beck.



*Entrance to School Lane*

## SCHOOL LANE

69. Laurel Dene (c1793. Very fine doorway and stained glass windows).
70. Laurel Cottage
71. Hopewell House and Hopewell Cottage including the well preserved Victorian pump and stone outhouse.
72. The Old Mill (c1792 originally a Wesleyan Chapel).
73. Clitheroe House (Half 1696 half mid 1800s) and its stone garage.
74. School House (c1696) and the Old School (mid 1800s). These buildings, which are private residences were at one time part of the Laurence family's school and academy and later The Old School became a Church of England Primary School. The above properties 69 to 74 inclusive are situated consecutively on the south side of School Lane to make a most important group of characterful and historic buildings.

## CLEAVESTY LANE

75. The Mount and East Mount. (Late 1800s. Used as a Ladies Academy by the Misses Laurence until early 1900s. Fine doorway, stained glass and an elegant rounded hall window with shaped stone surrounds similar to those in the Old School in School Lane

## OUTLYING BUILDINGS OFF HAREWOOD AVENUE

(as shown on the Area Map as key landscape features)

76. Limekiln House
77. Field House Farm
78. Wellington Place
79. Blue Cap Cottage
80. Travellers Rest Public House
81. Farfield House

# ACKNOWLEDGMENTS

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